

Floodplain Development Permit

Doddridge County, WV Floodplain Management

This permit gives approval for the development/ project listed that impacts the FEMA-designated floodplain and/or floodway of Doddridge County, WV, pursuant to the rules and regulations established by all applicable Federal, State and local laws and ordinances, including the Doddridge County Floodplain Ordinance. This permit must be posted at the site of work as to be clearly visible, and must remain posted during entirety of development.

Permit: #17-484

Date Approved: October 9, 2017

Expires: October 9, 2018

Issued to: F2S Infrastructure, Inc.

POC: Aaron Fayish

Company Address: P.O. Box 807 Morgantown, WV 26507

Project Address: Douglas Camp Rd.

Firm: 54017C0140C

Lat/Long: 39.261103N, -80.719880W

Purpose of Development: Roadway Improvements

Issued by: George C Eidel, CFM, OEM Director/Doddridge County FPM (or designee)

Date: October 9, 2017

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: Swan Gagnon

Dest union wab 456 PS Form 3800, April 2015 P.SN

17-484

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Extra Services & Fees (check box, add fee as appropriate) Return Receipt (hardcopy)	
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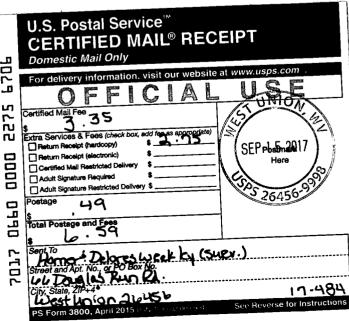
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First-Class Mail Postage & Fees Paíd USPS Permit No. G-10

United States Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

Doddridge County OEM/CFM George Eidel 105 Court Street, Suite 3 West Union, WV 26456

17-484

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COMPLETE THIS SECTION ON DELIVERY SENDER: COMPLETE THIS SECTION A. Signature Complete items 1, 2, and 3. 🗆 Agent Print your name and address on the reverse Addressee so that we can return the card to you. B. Received by (Printed Name) CaDate of Delivery Attach this card to the back of the mallpiece. or on the front if space permits. 1. Article Addressed to: D. Is delivery address different from item 1? ☐ Yes If YES, enter delivery address below: George & Susan Gagnon 1210 Ramsev's Ridge Road West Union, WV 26456 Service Type □ Priority Mail Express® ☐ Adult Signature ☐ Registered Mali™ ☐ Adult Signature Restricted Delivery □ Recistered Mail Restricted ☐ Certified Mail® 9590 9402 2859 7069 5379 59 □ Certified Mail Restricted Delivery ☐ Return Receipt for Merchandiae □ Collect on Delivery ☐ Signature Confirmation™ □ Collect on Delivery Restricted Delivery 2. Article Number (Transfer from service label) ☐ Signature Confirmation ☐ Insured Mail Restricted Delivery ☐ Insured Mail Restricted Delivery (over \$500) PS Form 3811, July 2015 PSN 7530-02-000-9053 Domestic Return Receipt

SENDER: COMPLETE THIS SECTION Complete items 1, 2, and 3, Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece. or on the front if space permits.

David E. Bowyer 12088 Middle Island Road

I. Article Addressed to:

Alma, WV 26320

9590 9402 2859 7069 5379 42

2. Article Number (Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY A. Signature

□ Addressee

B. Received by (Printed Name) MUNSON C. Date of Delivery

D. Is delivery address different from item 1? If YES, enter delivery address below:

3. Service Type ☐ Adult Signature

☐ Adult Signature Restricted Delivery

□ Collect on Delivery Restricted Delivery

□ Certified Mail Restricted Delivery

☐ Insured Mail Restricted Delivery

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☐ Insured Mail

(over \$500)

□ Collect on Delivery

□ Priority Mail Express® ☐ Registered Mail™

Delivery

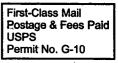
☐ Signature Confirmation™

☐ Signature Confirmation

□ Registered Mail Restricted ☐ Return Receipt for Merchandise

Restricted Delivery Domestic Return Receipt





United States Postal Service

• Sender: Please print your name, address, and ZIP+4° in this box°

Doddridge County OEM/CFM George Eidel 105 Court Street, Suite 3 West Union, WV 26456

17-484

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	For 16-350 Dodge Cik 18/5 Cik
(j	FP# 17-484

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Doddridge County, West Virginia

RECEIPT NO:

9660

DATE: 2017/09/13

AMOUNT: \$

500.00

FIVE HUNDRED DOLLARS AND 00 CENTS

FOR: #17-484 FLOOD PLAIN PERMIT

0000003403 FP-BUILDING PERMITS

020-318

TOTAL:

\$500.00

MICHAEL HEADLEY

SHERIFF &TREASURER

MEC

CLERK

Customer Copy

FLOODPLAIN PERMIT #17-484

Douglas Camp Rd Improvement-F2S Infrastructure Inc.

TASK	COMPLETE (DATE)	NOTES
CHECK RECEIVED	9/12/17	
US ARMY CORP. ENGINEERS		
(USACE)		
US FISH & WILDLIFE		
SERVICES (USFWS)		
WV DEPT. NATURAL		
RESOURCES (WVDNR)		
WV DEPT. ENVIROMENTAL		
PROTECTION (WVDEP)		
STATE HISTORIC &		
PRESERVATION OFFICE		
(SHPO)		
OFFICE of LAND & STREAM		
(OLS)		
DATE OF COMMISSION		
READING	9/19/17	
DATE AVAILABLE TO BE		
GRANTED	10/9/17	
PERMIT GRANTED		
COMPLETE		

7017 0660 0000 2275 6706

7017 0660 0000 2275 6690

7017 0660 0000 2275 6652



Doddridge County Floodplain Permits

(Week of September 18, 2017)

Please take notice that on the 12th day of September, 2017, F2S Infrastructure Inc. filed an application for a Floodplain Permit (#17-484) to develop land located at or about Douglas Camp Run @ Route 18S Coordinates 39.261103 N, -80.719880 W. The Application is on file with the Clerk of the County Court and may be inspected or copied during regular business hours. Any interested persons who desire to comment shall present the same in writing by October 9, 2017 (20 calendar days after the announcement at the regularly scheduled Doddridge County Commission Meeting) delivered to the Clerk of the County Court at 108 Court Street Ste. 1, West Union, WV 26456. This project is road improvement project (Replacement of a culvert pipe to a larger diameter, clearing of ditches and widening of the road.



Davidsoft	
Douglas Camp Project Name: Road Im Provenent	+
F25 Permittees Name: INfrastructura	ľ

SEP12 17 1:48PM

Doddridge County, WV

Floodplain Development Permit Application

This document is to be used for projects that impact/potentially impact the FEMA---designated floodplain and/or floodway of Doddridge County, WV pursuant to the rules and regulations established by all applicable Federal, State and local laws and ordinances, including the Doddridge County Floodplain Ordinance.

SECTION 1: GENERAL PROVISIONS (APPLICANT TO READ AND SIGN)

- 1. No work may start until a permit is issued.
- 2. The permit may be revoked if any false statements are made herein.
- 3. If revoked, all work must cease until permit is re-issued.
- 4. Development shall not be used or occupied until a Certificate of Compliance is issued.
- 5. The permit will expire if no work is commenced within six months of issuance.
- 6. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal requirements.
- 7. Applicant hereby gives consent to the Floodplain Administrator/Manager or his/her representative to make inspections to verify compliance.
- 8. I THE APPLICANT CERTIFY THAT ALL STATEMENTS HEREIN AND IN ATTACHMENTS TO THIS APPLICATION ARE, TO THE BEST OF MY KNOWLEDGE, TRUE AND ACCURATE.

APPLICANT'S SIGNATURE	
DATE 9/6/17/	-,

Applicant Information:

Please provide all pertinent data.

Applicant Information		
Responsible Company Name: F2S Infrastructure	, Inc.	
Corporate Mailing Address: P.O. Box 807		
City: Morgantown	State: WV	7: 2/507
	State: wv	Zip: 26507
Corporate Point of Contact (POC): Aaron Fayish		
Corporate POC Title: Professional Engineer (P.E)		
Corporate POC Primary Phone: (304) 949-8920		
Corporate POC Primary Email: afayish@F2Si.us		
Corporate FEIN: 81-2622346	Corporate DI	JNS:
Corporate Website: http://f2si.us/	•	
Local Mailing Address: P.O. Box 807		
City: Morgantown	State: WV	Zip: 26507
Local Project Manager (PM): Tony Napolillo		
Local PM Primary Phone: 304-949-8920		
Local PM Secondary Phone: 304-919-0852		
Local PM Primary Email: tnapolillo@f2si.us		
Person Filing Application: Aaron Fayish		
Applicant Title: Professional Engineer		
Applicant Primary Phone: 304-949-8920		
Applicant Secondary Phone: NA		
Applicant Primary Email: afayish@F2Si.us	·	
	 	

Project Narrative:

Describe in detail the proposed development including project name/title, type of development, estimated start and completion timeline, and its potential impact on the floodplain. Use additional copies of this page as needed.

Project Narrative:
The Doddridge CR 18/5 Roadway Improvements Project (Project) will consist of existing roadway
improvements that will include culvert replacement, ditch cleanout and construction, intersection
widening, and aggregate overlay. The project is proposed to be performed between September
2017 and December 2017. The project would take approximately three weeks for completion of
construction activities.
The Project proposes approximately 160 feet of road expansion and upgrades to the existing
Doddridge CR 18/5. The Project proposes replacing an existing 12 inch diameter culvert with
an 18 inch diameter culvert, this activity should have no significant impact on the floodplain
as there is an existing culvert in the same location. Additionally the project proposes lowering the
elevation of the eastern side of CR 18/5 by grading to widen the intersection of Doddridge
CR 18/5 and State Route 18. This intersection widening should not have a negative effect on
the floodplain as the floodplain will be slightly widened and the expanded area will be armored
with course aggregate material at a minimum. Finally, drainages ditches will be established or
existing ditches will be cleaned in proposed construction areas. These activities will have no
significant impact on the floodplain elevation.
Please see the attached grading plan for the project area.

Proposed Development:

Please check all elements of the proposed project that apply.

DESCRIPTION OF WORK (CHECK ALL APPLICABLE BOXES)

A. STRUCTURAL DEVELOPMENT

	AC	TIVITY				STRUCTU	JRAL TYPE
[]	New Structure				[]	Residential (1 – 4 Family)	
[]	Addition				[]		al (more than 4 Famil
[]	Alteration				0		ential (floodproofing)
[]	Relocation				[]		Use (res. & com.)
[]	Demolition	1			[]	Replacemo	•
[]	Manufact	ured/Mo	bil Home		••	·	
В.	OTHER DE	VELOPI	MENT ACTI	VITIES:			
[]	Fill	[]	Mining	[]	Drilling	: ()	Pipelining
[✓]	Grading				_		. 0
[✓]	Excavation	(except	for STRUCTUR	RAL DEVE	LOPMENT	checked a	above)
[]	Watercour	se Altera	tion (including	g dredgir	g and cha	nnel modif	fication)
[✓]	Watercourse Alteration (including dredging and channel modification) Drainage Improvements (including culvert work)						
[]	Road, Street, or Bridge Construction						
[]	Subdivision (including new expansion)						
[]	Individual Water or Sewer System						
[✓]	·						
<u>Existi</u>	ng County Ro	ute Impr	ovements inc	luding in	tersection	widening,	pulloff widening and
	gate overlay						

Development Site/Property Information:

Please provide physical description of the site/property, along with pertinent ownership (surface and mineral rights) data as applicable. Attach appropriate maps from the WV Flood Tool showing location of proposed development. Use additional copies of this page if development spans multiple property boundaries. Designate each property by number (i.e. Property 1 of 1, Property 2 of 7, etc.)

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,			
,			
Notes:			

Property Owner Data:

Please provide data on current site/property landowner(s), both surface and mineral rights (as applicable). Use additional copies of this page as needed. Designate each page in relation to each property listed above.

Property Designation: <u>1</u> of <u>2</u>		
Property Owner Data:	P	
Name of Primary Owner (PO): Homer	& Delores M. Weekley (S	URV)
PO Address: 66 Douglas Run Rd.		
City: West Union	State: WV	Zip: 26456
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		
Name of Primary Owner (PO): Homer	& Delores M. Weekley (SI	URV)
PO Address: 66 Douglas Run Rd.		
City: West Union	State: WV	Zip: 26456
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		
Mineral Rights Owner Data: (As Applic	cable)	
Name of Primary Owner (PO):		
PO Address:		
City:	State:	Zip:
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		

Development Site/Property Information:

Please provide physical description of the site/property, along with pertinent ownership (surface and mineral rights) data as applicable. Attach appropriate maps from the WV Flood Tool showing location of proposed development. Use additional copies of this page if development spans multiple property boundaries. Designate each property by number (i.e. Property 1 of 1, Property 2 of 7, etc.)

Property Designation:2	<u> of2</u>			
Site/Property Information				
Legal Description: 37.67 ac				
Physical Address/911 Add	ress:			
Decimal Latitude/Longitud	le: 39.261050°, -80.72	0079°		
DMS Latitude/Longitude: 3		'12.283"W		
District: 6	strict: 6 Map: 1 Parcel: 10.3			
Land Book Description:				
		_		
Deed Book Reference: DB/I	PG 277/653			
Tax Map Reference:				
Existing Buildings/Use of P	roperty: Farm			
Eleadulain Location Date:	(to be completed by FI			
Floodplain Location Data: (Community:				
Community:	Number:	Panel:	Suffix:	
Location (Lat/Long):		Approximate Elevation:		
		Estimated BFE:		
Is the development in the fl	oodway?	Is the development in the floodplain?		
			Zone:	
Notes:				

Property Owner Data:

Please provide data on current site/property landowner(s), both surface and mineral rights (as applicable). Use additional copies of this page as needed. Designate each page in relation to each property listed above.

Property Designation: 2 of 2		
Property Owner Data:		and the second of the second o
Name of Primary Owner (PO): Ronald G. I	Barnes	
PO Address: 181 Smith Ln.		
City: Howard	State: PA	Zip: 16841
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		
Surface Rights Owner Data:		2.4 to P
Name of Primary Owner (PO): Ronald G. I	Barnes	
PO Address: 181 Smith Ln.		
City: Howard	State: PA	Zip: 16841
PO Primary Phone:		
PO Secondary Phone:	· · · · · · · · · · · · · · · · · · ·	
PO Primary Email:		
Mineral Rights Owner Data: (As Applicab	le)	
Name of Primary Owner (PO):		
PO Address:		
City:	State:	Zip:
PO Primary Phone:		
PO Secondary Phone:	-	
PO Primary Email:		

Contractor Data:

Please provide all pertinent data for contractors and sub---contractors that may be participating in this project. Use additional copies of this page as needed. Designate each page in relation to each property listed above.

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	The state of the s
C/SC DUNS:	
)	
State: WV	Zip-Code: 26507
	C/SC DUNS:

Engineer Firm Information:	git	
Engineer Firm Name: Stahl Sheaffer Eng		
Engineer WV License Number: 19848		
Engineer Firm FEIN: 11-3759367	Engineer Fir	rm DUNS:
Engineer Firm Primary Point of Contac	t (POC): Scott Popovich	ı, P.E.
Engineer Firm Primary POC Title: Proje	ect Manager	
Engineer Firm Mailing Address: 5000 V	Vaterdam Plaza Drive, S	uite 120
City: McMurray	State: PA	Zip-Code: 15317
Engineer Firm Office Phone: 724-960-1	111	
Engineer Firm Primary POC Phone: 724	4-255-3131	
Engineer Firm Primary POC E-Mail: spo	povich@sse-llc.com	

Adjacent and/or Affected Landowners Data

Please provide data for all adjacent and/or affected surface owners (both up and down stream) whose property may be impacted by proposed development as demonstrated by a floodplain study or survey. Use additional copies of this page as needed.

Adjacent Property Owner Data: Upstream		
Name of Primary Owner (PO): Homer & Delore	s M. Weekley (SI	URV)
Physical Address: 66 Douglas Run Rd.		
City: West Union	State: WV	Zip: 26456
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		
Adjacent Property Owner Data: Upstream		6
Name of Primary Owner (PO):		
Physical Address:		
City:	State:	Zip:
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		
Adjacent Property Owner Data: Downstream	The second secon	
Name of Primary Owner (PO): David E Bowyer		
Physical Address: 12088 Middle Island Rd.		
City: Alma	State: WV	Zip: 26320
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		
Adjacent Property Owner Data: Downstream		
Name of Primary Owner (PO): George and Susar	n Gagnon	
Physical Address: 1210 Ramsey's Ridge Rd.		
City: West Union	State: WV	Zip: 26456
PO Primary Phone:		
PO Secondary Phone:		
PO Primary Email:		

Site Plan

A Site Plan is an accurate and detailed map of the proposed development for this project. It shows the size, shape, location and special features of the project property, and the size and location of any development planned to the property, especially as that development will impact the floodplain and/or floodway. Site plans show what currently exists on the project property, and any changes or improvements you are proposing to make. A certified and licensed engineering firm should complete site plans.

A SITE PLAN MUST CONTAIN THE FOLLOWING INFORMATION:

- 1. Legal description of the parcel, north arrow and scale
- 2. All property lines and their dimensions
- 3. Names of adjacent roads, location of driveways
- 4. Location of sloughs, tributaries, streams, rivers, wetlands, ponds, and lakes, with setbacks indicated, and including FEMA floodplain data based on most updated FIRM.
- 5. Location, size, shape of all buildings, existing and proposed, with elevation of lowest floor indicated.
- 6. Location and dimensions of existing or proposed on-site sewage systems.
- 7. Location of all propane tanks, fuel tanks or other liquid storage tanks whether above ground or below ground level.
- 8. Location and dimensions of any proposed pipeline placement(s) into floodplain/floodway.
- 9. Location and dimensions of any roadway development into floodplain/floodway. (Includes initial development accessroads)
- 10. Location and dimensions of any bridge and/or culvert development into floodplain/floodway.
- 11. Location and dimensions of any storage yard or facility into the floodplain/floodway.
- 12. Location of any existing utilities and/or proposed utility placementand/or displacement.
- 13. Location, dimensions and depth of any existing or proposed fill on site.
- 14. A survey showing the **existing ground elevations** of at least location on the building site. **ELEVATION NOTE**: All vertical datum will reference either NGVD 29 or NAVD 88. Assumed datum will not be acceptable unless the property is located in an area where vertical datum has not been published. For those areas where vertical datum has not been established, a site plan with contours, elevations using assumed datum, high water marks and existing water levels of sloughs, rivers, lakes or streams and proposed lowest floor elevation.

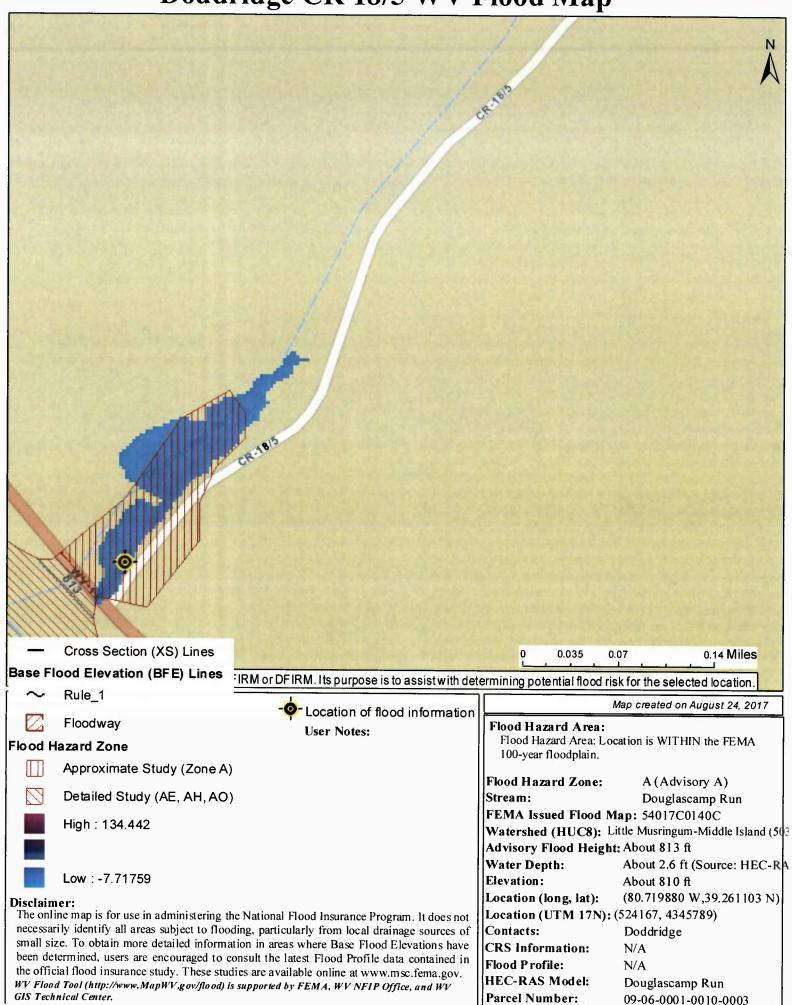
Applicant

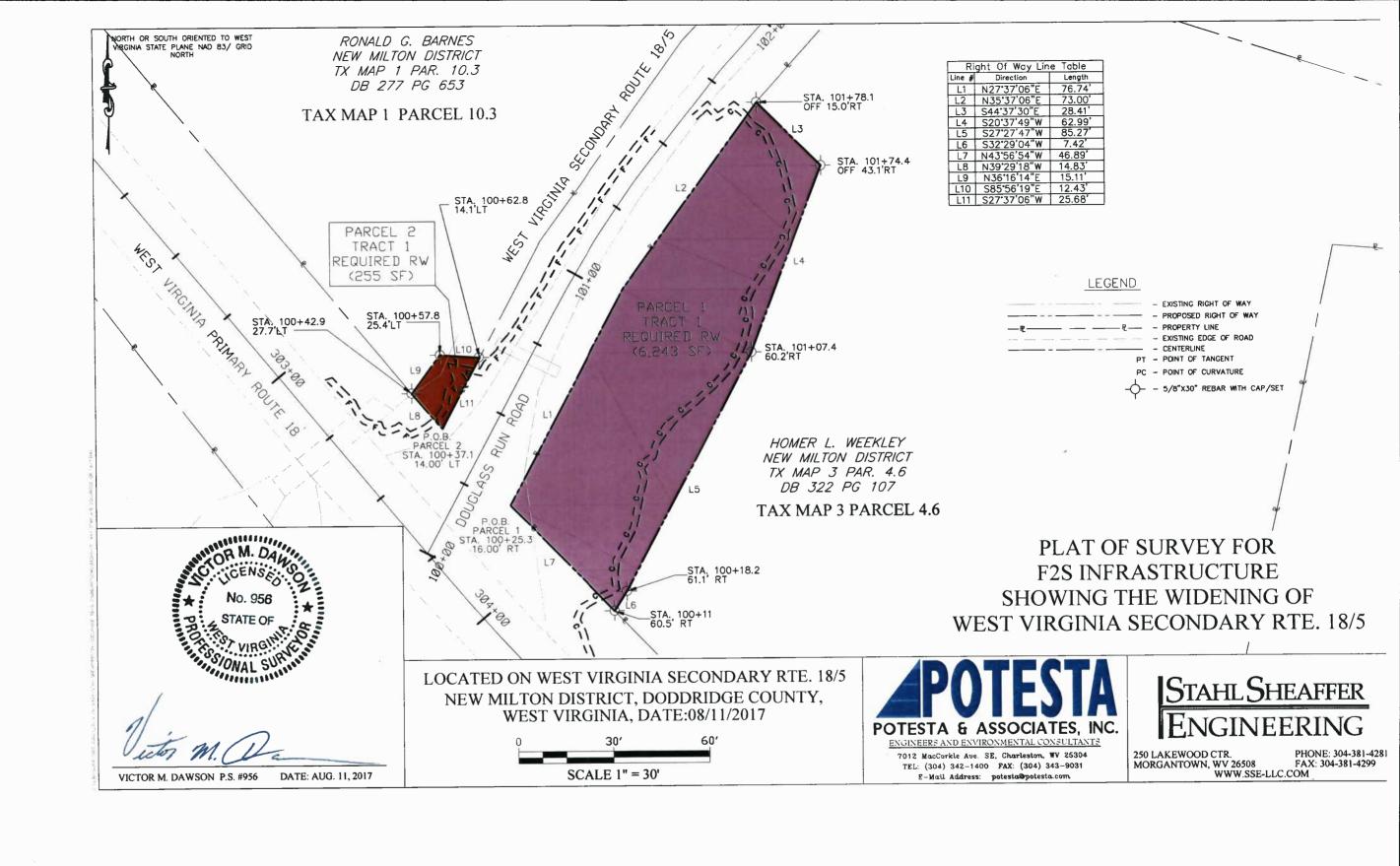
Please read print name, sign and date below:

- I certify that I am authorized to submit this application for the primary project developer.
- I certify that the information included in this application is to the best of my knowledge true and complete.
- I certify that all required Federal, State, and local permits required by law and/or ordinance for the above described development of this project have been properly attained, are current and valid, and must be presented with this application before a Doddridge County Floodplain Permit may be issued.
- I understand that if in the course of the development project additional permits become
 required that were not needed during the initial proposal, the primary developer must notify the
 Doddridge County Floodplain Manager within 48 hours of such need, and that a "Stop Work"
 order may be issued for all project work directly impacting the floodplain or floodway, until such
 time the required additional permits are acquired.
- I understand that once the floodplain permit is submitted, the application will be entered into
 official public record at the next regularly scheduled Doddridge County Commission meeting
 after the date of submittal.
- I understand that from the date of submittal of the fully completed permit application, the
 Doddridge County Floodplain Manager has ninety (90) days to make a determination to either
 grant or deny said permit application. During this approval period, the Doddridge County
 Floodplain Manager may, at his or her discretion, conduct a review and/or additional study of
 provided documentation by means of an independent engineering firm. All costs associated with
 said review and/or study must be reimbursed to the County before issuance of approved permit.
- I understand that during the approval period, the Doddridge County Floodplain Manager of
 designee may at his or her discretion conduct site visits and document conditions of proposed
 development pursuant to the permit application.
- I understand that once the Floodplain Permit is granted, the permit will be entered into official public record at the next scheduled Doddridge County Commission meeting after the date of issuance. Appeals to the permit may be made no later than twenty (20) days after said issuance. If a valid appeal is submitted, as determined by the Doddridge County Floodplain Manager, a "Stop Work" order will be issued for all project development directly involving the floodplain or floodway. A public hearing by the Doddridge County Appeals Board will be scheduled no less than ten (10) days after the next regularly scheduled Doddridge County Commission meeting.
- I understand that all decisions of the Doddridge County Appeals Board shall be final.
- I understand issuance of a Floodplain Permit authorizes me to proceed with construction as proposed. A Certificate of Compliance is required upon substantial completion of the project.
- In signing this application, the primary developer hereby grants the Doddridge County Floodplain Manager or designee the right to enter onto the above---described location to inspect the development work proposed, in progress, and/or completed.
- I understand that if I do not follow exactly the site---plan submitted and approved by this permit
 that a "Stop Work" order may be issued by the Doddridge County Floodplain Manager and that
 I must stop all construction immediately until discrepancies of actual work vs. proposed work is
 resolved.

Applicant Signature:	Date:9/6/17
Applicant Printed Name: Lardn C. Fayish	/

Doddridge CR 18/5 WV Flood Map





DESCRIPTION OF SURVEY F2S INFRASTRUCTURE WIDENING OF WEST VIRGINIA SECONDARY RTE. 18/5 PARCEL 1 TRACT 1

A tract of land situate along the east side of West Virginia Secondary Route 18/5, New Milton District, Tax Map 3, Parcel 4.6, Doddridge County, West Virginia, more particularly described as follows:

Beginning at a point at the intersection of the northern right of way line of West Virginia Primary Route 18 and the eastern right of way line of West Virginia Secondary Route 18/5, said point being 16 feet right of project centerline station 100+25.3, thence running with said existing Secondary Route 18/5 right of way line

N27°37'06"E, 76.74 feet to a point, thence

N35°37'06"E, 73.00 feet to a 5/8 inch Iron Reinforcing Rod with a plastic cap stamped "Potesta 956", hereinafter referred to as a "rebar", to be set, on said existing southern right of way line of West Virginia Secondary Route 18/5, said rebar being 15 feet right of the project centerline station 101+78.1, thence leaving said existing right of way line and running through and across the property of Homer L. Weekley, recorded in Deed Book 322 at page 107, from which this conveyance is a part of

S44°37'30"E, 28.41 feet to a rebar to be set, 43.1 feet right of project centerline station 101+74.4, thence

S20°37'49"W, 62.99 feet to a rebar to be set, 60.2 feet right of project centerline station 101+07.4, thence

 $S27^{\circ}27'47''W$, 85.27 feet to a rebar to be set, 61.1 feet right of project centerline station 100+18.2, thence

S32°29'04"W, 7.42 feet to a rebar to be set on said existing northern right of way line of said West Virginia Primary Route 18, 60.5 feet right of project centerline station 100+11, thence running with said northern right of way line

N43°56'54"W, 46.89 feet to the point of beginning, containing 6,243 Square Feet (0.143 Acres) more or less as surveyed by Potesta and Associates, Inc., in August 2017, as shown on a plat attached hereto and made a part of this description.

Being a part of the same property conveyed to Homer L. Weekley and Deloris M. Weekley, by deed dated March 17, 2014, and recorded in the office of the County Clerk of Doddridge County, West Virginia, in Deed Book 322 at page 107.

DESCRIPTION OF SURVEY F2S INFRASTRUCTURE WIDENING OF WEST VIRGINIA SECONDARY RTE. 18/5 PARCEL 2 TRACT 1

A tract of land situate along the west side of West Virginia Secondary Route 18/5, New Milton District, Tax Map 1, Parcel 10.3, Doddridge County, West Virginia, more particularly described as follows:

Beginning at a point at the intersection of the northern right of way line of West Virginia Primary Route 18 and the western right of way line of West Virginia Secondary Route 18/5, said point being 14 feet right of project centerline station 100+37.1, thence running with said existing Primary Route 18 right of way line

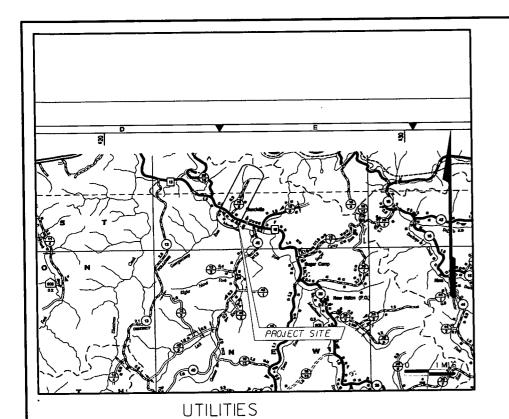
N39°29'18"W, 14.83 feet to a 5/8 inch Iron Reinforcing Rod with a plastic cap stamped "Potesta 956", hereinafter referred to as a "rebar", to be set, on said existing northern right of way line of West Virginia Primary Route 18, said rebar being 27.7 feet left of the project centerline station 100+42.9, thence leaving said existing right of way line and running through and across the property of Ronald G. Barnes, recorded in Deed Book 277 at page 653, from which this conveyance is a part of

N36°16'14"E, 15.11 feet to a rebar to be set, 25.4 feet left of project centerline station 100+57.8, thence

S85°56'19"E, 12.43 feet to a rebar to be set on said existing western right of way line of said West Virginia Secondary Route 18/5, 14.1 feet left of project centerline station 100+62.8, thence running with said western right of way line

S27°37'06"W, 25.68 feet to the point of beginning, containing 255 Square Feet (0.006 Acres) more or less as surveyed by Potesta and Associates, Inc., in August 2017, as shown on a plat attached hereto and made a part of this description.

Being a part of the same property conveyed to Ronald G. Barnes, by deed dated October 13, 2008, and recorded in the office of the County Clerk of Doddridge County, West Virginia, in Deed Book 277 at page 653.



ONE CALL TICKET #1703954319
FRONTIER COMMUNICATIONS(FORMERLY VERIZON)

ANTERO RESOURCES CORPORATION

EQT PRODUCTION FIRSTENERGY CORP

PLANS FOR CONSTRUCTION

CR 18/5 - DODDRIDGE COUNTY ROADWAY IMPROVEMENTS

•	Station	5	Station		f.t.		mile(s)	
Roadway	100+00	to	139+70		3970		0.75	
	Tota	1 Pro	ject Leng	th •	3970	•	0. 75	

INTERSECTION WIDENING

TYPE OF CONSTRUCTION:

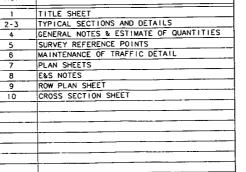
INTERSECTION WIDENING PULLOFF WIDENING AGGREGATE OVERLAY



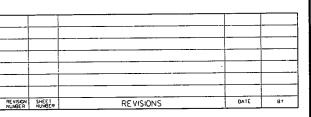


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5	SURVEY REFERENCE POINTS
6	MAINTENANCE OF TRAFFIC DETAIL
7	PLAN SHEETS
8	E&S NOTES
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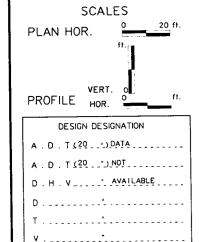


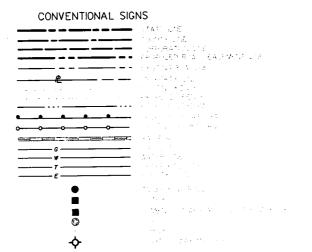
W. V. 04 2017 DODDRIDGE

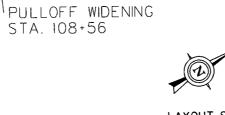
WEST VIRGINIA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS DISTRICTS AND DISTRICT HEADQUARTERS

OISTRICT NUMBER DISTRICT OFFICE

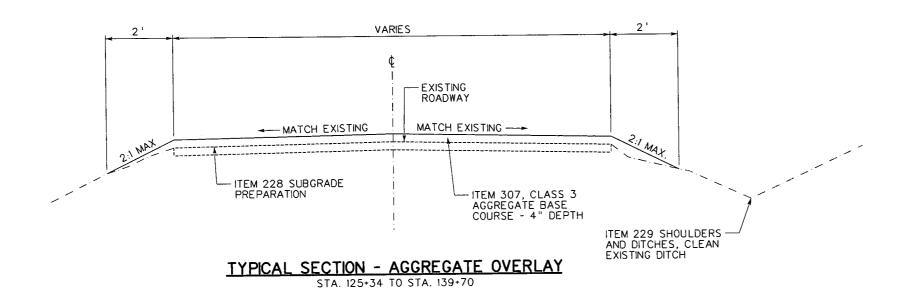
PENNSYLVANIA

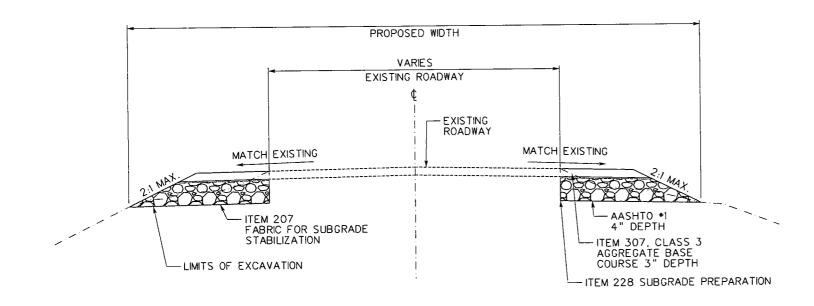






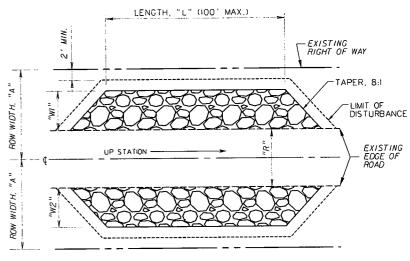
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TYPICAL SECTION - PULL OFF WIDENING

N.T.S.



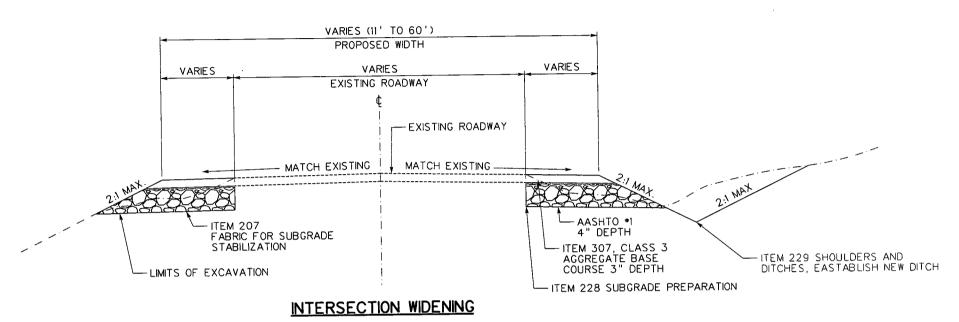
PLAN VIEW

	PULL	OFF WIDENING	DIMEN	1210N	DEI	AIL	
LOCATION	PULLOFF ID	ROADWAY WIDTH "R"	A	W1	₩2	L	NOTES
CR 18/5	Â	9 '	15 '	8'	0,	80'	
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	DESIGNED SM	DATE 08/17
IC C	DRAWN SM CHECKED	06/17
STAHLSHEAFFER	JMK	07/17
<u> ENGINEERING</u>	SRP	07/17

VISION	SHEET	REVISION		DATE	84	
	-			-		TYPICAL SECTIONS
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Public Roads Div.	State Dist. No.	Fiscal Year	County	Sheel No.	Totat Sheets
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N.T.S.

	DESIGNED SM	DATE 06/17
	DRAWN SM	06/17
STAHLSHEAFFER	CHECKED JMK	07/17
ENGINEERING	CHECKED SRP	07/17

REVISION NUMBER	SHEET	REVISION	DATE	BY
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TYPICAL SECTIONS

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GENERAL NOTES

GOVERNING SPECIFICATIONS

ALL WORK CONTEMPLATED WITH THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STANDARD SPECIFICATIONS ROADS AND BRIDGES, 2017 EDITION, AS AMENDED BY WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS AND SUPPLEMENTAL SPECIFICATIONS, OR CURRENT REVISION, UNLESS OTHERWISE NOTED.

STANDARD DETAILS

THE WEST VIRGINIA DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, STANDARD DETAILS BOOK, VOLUME I, DATED MAY, 2016 & VOLUME II, DATED

JANUARY I, 1994 SHALL APPLY TO THIS PROJECT. REVISED STANDARD DRAWINGS LISTED IN THE TABLE ON THIS SHEET WITH THEIR CORRESPONDING DATE SUPERSEDE

THE AFOREMENTIONED STANDARD DETAILS. STANDARD DETAILS DRAWINGS CAN BE FOUND AT http://www.transportation.wv.gov/highways/engineering/Pages/publications.aspx

RIGHT OF WAY

UTILITY STATUS

THE UTILITY CONTACTS FOR THE PROJECT AREA WERE OBTAINED FROM MISS UTILITY OF WEST VIRGINIA. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THEIR OWN MISS UTILITY TICKET AT WWW.WV8II.COM OR 1-800-245-4848 OR 811 AND NOTIFYING ANY UTILITY WITHIN THE LIMITS OF THE PROJECT OF ALL WORK TO BE PERFORMED. UTILITY COMPANIES WILL NORMALLY LOCATE AND MARK THEIR EXISTING FACILITIES ON THE GROUND WITHIN TWO (2) WORKING DAYS. THE ENGINEER WILL MAKE EVERY EFFORT TO ADJUST THE PROPOSED WORK TO AVOID CONFLICTS WITH OR RELOCATIONS BY THE UTILITY.

THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS OR THE EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES THE ENGINEER GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE WORK SITE.

EXISTING CONDITIONS

THE EXISTING CONDITIONS HAVE BEEN APPROXIMATED USING EXISTING TOPOGRAPHY DERIVED FROM AERIAL MAPPING PROVIDED BY CEC, 2 FOOT CONTOURS DATED:

JUNE 2, 2017. THE ENGINEER MAKES NO GUARANTEE TO ACCURACY OF THE BASE INFORMATION. EXISTING ROADS, DRIVEWAYS AND STRUCTURES

SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO LOCATE AND

PROTECT EXISTING UTILITY SERVICES AND MAINS. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE FIELD ENGINEER

PRIOR TO CONSTRUCTION.

CONSTRUCTION

FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSBILITY TO PERFORM SUCH WORK. THE CONTRACTOR IS SOLELY RESPONSBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS. THE CONTRACTOR IS RESPONSBLE FOR TRANSITIONS TO DRIVEWAYS, DRAINAGE STRUCTURES, AND OTHER ROADSIDE FEATURES.

	ROADWAY CR 18/5		
ITEM NO.	ITEM DESCRIPTION	APPROXIMATE QUANTITIES	UNITS
201001-000	CLEARING AND GRUBBING	1	LS
204001-000	MOBILIZATION	1	LS
207001-001	UNCLASSIFIED EXCAVATION	662	CY
207002-000	SUBGRADE (GRANULAR MATERIAL AASHTO *1)	61	TON
207034-000	FABRIC FOR SUBGRADE STABILIZATION	390	SY
228001-000	SUBGRADE PREPARATION	390	SY
229001-001	ESTABLISHING NEW DITCH	0.04	Mi
229001-002	CLEAN EXISTING SHOULDER AND DITCH	0.27	MI
307001-000	AGGREGATE BASE COURSE, CLASS 3 (3")	390	SY
307001-000	AGGREGATE BASE COURSE, CLASS 3 (4")	1436	SY
604050-016	18" CORRUGATED POLYETHYLENE PIPE	30	<u>L</u> F
636001-001	TRAFFIC CONTROL	1	LS
639001-001	CONSTRUCTION LAYOUT STAKE	11	LS
642012-002	COMPOST FILTER SOCK - 18" DIA.	172	LF
652003-001	SEED MIXTURE, B	15	LB
652004-001	STRAW OR HAY MULCH	0.4	TN

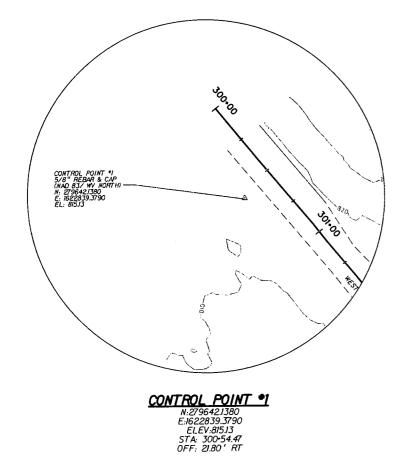
	DESIGNED SM	DATE 06/17
	DRAWN SM	06/17
STAHLSHEAFFER	CHECKED JMK	07/17
ENGINEERING	CHECKED SRP	07/17

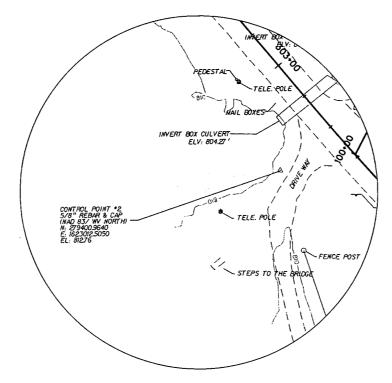
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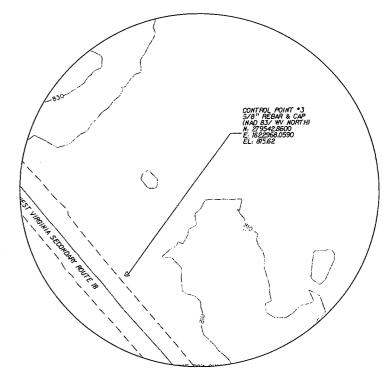
GENERAL NOTES

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w. v.	04	2017	DODDRIDGE	5	10









CONTROL POINT *2

N.279400.9640
E:1623012.5050
ELEV.810.76
STA: 303-50.38
OFF: 41.48 ' RT

CONTROL POINT •3

N:279542.8600
E:1622968.0590
ELEV.815.62
STA: 302:12.63
OFF: 15.51' LT

DATE

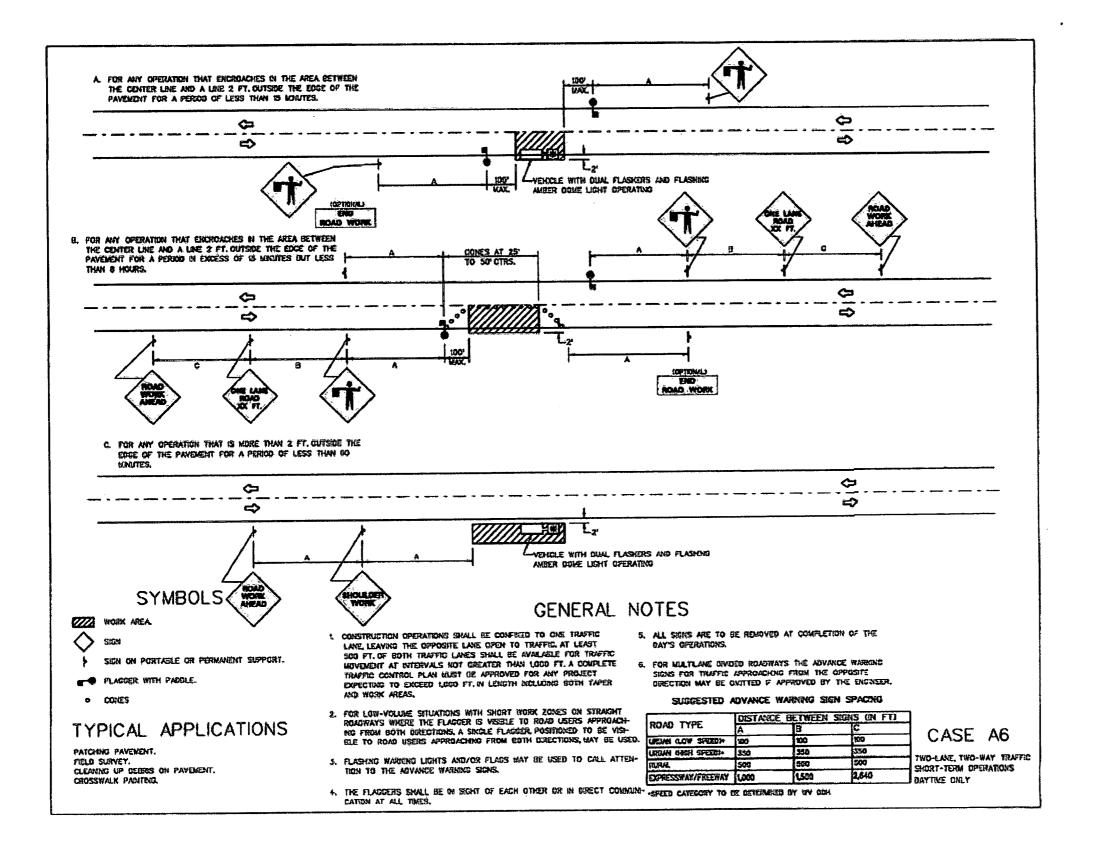
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	DRAWN SM	06/17
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ENGINEERING	CHECKED SRP	07/17

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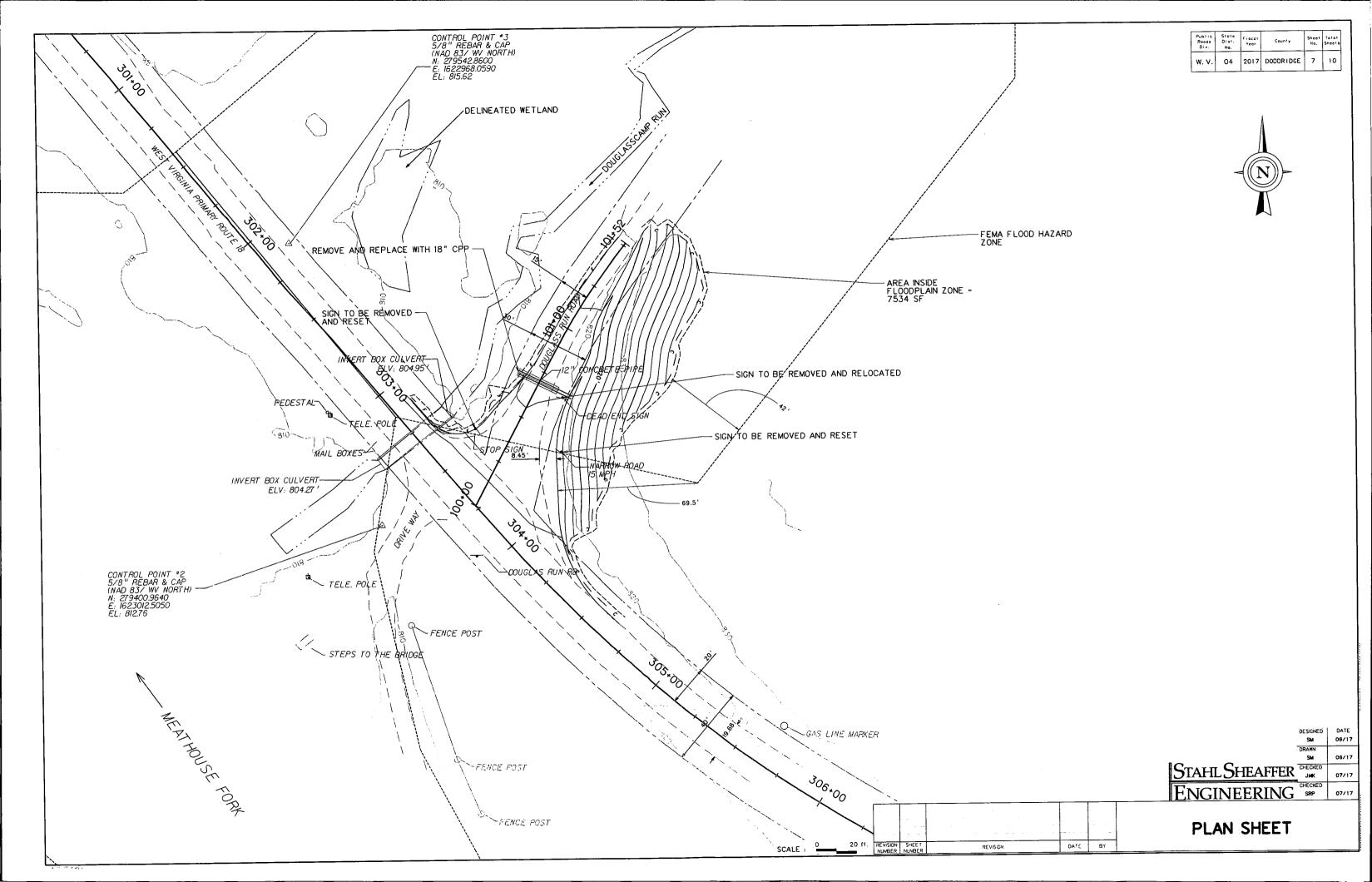
REFERENCE POINTS





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	SM	06/17
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ENGINEERING	CHECKED	07.447
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MAINTENANCE OF TRAFFIC DETAILS		-			-	
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Public Roods Div.	State Dist. No.	Fiscal Year	County	Sheel No.	Total Sheets
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EROSION & SEDIMENTATION POLLUTION CONTROL (E&S) NOTES:

- A. GENERAL EROSION AND SEDIMENT (E&S) CONTROL GUIDELINES
 - A COPY OF THIS PLAN SHALL BE KEPT AVAILABLE FOR INSPECTION ON THE CONSTRUCTION SITE AT ALL TIMES THROUGH THE STAGES OF THE PROJECT.
 - 2. THE INTENT OF THIS PLAN IS TO INDICATE GENERAL MEANS OF COMPLIANCE WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE CLEAN WATER ACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT THESE METHODS PLUS ADDITIONAL METHODS AS MAY BE NECESSARY BECAUSE OF THE CONDITIONS CREATED BY LOCALIZED SITE CONDITIONS, AND/OR CONSTRUCTION PROCEDURES IN ORDER TO ASSURE COMPLIANCE WITH APPLICABLE LAW. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL E&S FACILITIES SO THAT THEY PERFORM AS REQUIRED BY LAW.
 - 3. IF SPOIL MATERIAL OR SOIL IS REMOVED FROM THE SITE THE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE APPROPRIATE CONSERVATION DISTRICT AN E&S PLAN FOR THE SITE WHICH WILL RECEIVE THE SPOIL MATERIAL.
 - 4. BEFORE INITIATING ANY REVISIONS TO THE APPROVED E&S PLANS OR REVISIONS TO ALTER PLANS WHICH MAY EFFECT THE EFFECTIVENESS OF THE APPROVED E&S PLAN, THE CONTRACTOR MUST RECEIVE APPROVAL FROM THE WEST VIRGINIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (WVDEP).
- B. GENERAL E&S CONTROL METHODS/PROCEDURES
 - IN ALL CASES THE SMALLEST PRACTICAL AREA OF STABLE LAND SURFACE SHALL BE DISTURBED.
 - 2. ALL RELATED E&S FACILITIES SHALL BE IN PLACE AND CAPABLE OF FUNCTIONING AS INTENDED PRIOR TO EARTH MOVING ACTIVITY WITHIN THEIR CONTRIBUTING WATERSHED AREAS.
 - DEWATERING EQUIPMENT DISCHARGE SHALL BE DIRECTED ONTO A STABILIZED SURFACE SO THAT EROSION DOES NOT OCCUR. DISCHARGES SHALL BE DIRECTED THROUGH A SEDIMENT FILTER STRUCTURE AND DISCHARGED IN A NON-EROSIVE MANNER.
 - 4. SEDIMENT SPILLED, DROPPED OR TRACKED ONTO PAVED SURFACES SHALL BE REMOVED IMMEDIATELY.
 - 5. AT THE END OF EACH WORKING DAY, ANY SEDIMENT TRACKED OR CONVEYED ONTO A PUBLIC ROADWAY WILL BE REMOVED AND RE- DEPOSITED ONTO THE CONSTRUCTION SITE. REMOVAL CAN BE COMPLETED THROUGH USE OF MECHANICAL OR HAND TOOLS, BUT MUST NEVER BE WASHED OFF THE ROAD BY USE OF WATER.
 - 6. SEDIMENT REMOVED FROM THE E&S FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES. AN E&S PLAN SHALL BE SUBMITTED TO THE CONSERVATION DISTRICT FOR ALL OFF-SITE SPOIL AREAS.
 - 7. ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A DIRT BAG FILTRATION DEVICE, OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER NON-DISTURBED VEGETATED AREAS. DISCHARGE POINTS SHOULD BE ESTABLISHED TO PROVIDE FOR MAXIMUM DISTANCE TO ACTIVE WATERWAYS.
 - 8. SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STOME AND OTHER MULCHES SHALL BE IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
 - STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
 - ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS, WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN ONE YEAR, MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
 - 11. STABILIZATION OF ALL AREAS PROTECTED BY INTERIM CONTROL MEASURES/FACILITIES SHALL BE TO THE PERMANENT STRUCTURAL CONDITION OR 70% UNIFORM PERENNIAL VEGETATION BEFORE THE INTERIM MEASURES/FACILITIES CAN BE REMOVED.
 - 12. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WVDEP REGULATIONS RELATING TO SOLID WASTE DISPOSAL/RECYCLING.
 - 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL E&S
 MEASURES. IF EROSION CONTROL MEASURES FAIL OR OTHER EROSION PROBLEMS ARISE, THE CONTRACTOR
 SHALL TAKE IMMEDIATE ACTION TO CORRECT AND ELIMINATE THEM BEFORE THEY DEVELOP INTO
 UNMANAGEABLE PROBLEMS.
 - 14. UNTIL THE SITE IS STABILIZED, ALL E&S BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL E&S BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS SPECIFIED, REPLACEMENT BMPS OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. ANY AREAS DISTURBED BY REMOVAL OF CONTROLS SHALL BE REPAIRED, STABILIZED AND PERMANENTLY SEEDED.
 - 15. E&S BMPS SHALL CONSIST OF SLIT FENCE OR COMPOST FILTER SOCK, 12" DIAMETER, IN ACCORDANCE WITH WYDEP STANDARDS.

- D. RESTORATION OF PLANTING AREAS
 - 1. IF EARTH DISTURBANCE OCCURS DURING THE MONTHS OF NOVEMBER THROUGH MARCH, THEN AROOSTOOK WINTER RYE SHALL BE APPLIED TO DISTURBED AREAS AS A TEMPORARY SEED MIXTURE. IF STABILIZATION CANNOT BE ACHIEVED WITH AROOSTOOK WINTER RYE, THEN MULCH WITH TACKFIER SHALL BE APPLIED TO DISTURBED AREAS. MULCH SHALL BE CLEAN OAT OR WHEAT STRAW AND SHALL BE APPLIED AT THE RATE OF TWO (2) TONS PER ACRE. TACKIFIER SHALL BE APPLIED AT THE MANUFACTURER'S APPLIED RATE. AREAS THAT LOSE THE MULCH COVER SHALL BE REMULCHED.
 - 2. FINAL RESTORATION SHALL BE PERFORMED NO LATER THAN THE START OF THE NEXT PLANTING SEASON FOLLOWING CONSTRUCTION. THE PLANTING SEASON SHALL BE AS ESTABLISHED BY THE U.S. AGRICULTURAL SERVICE FOR THE AREA OF CONSTRUCTION.
 - TOPSOIL SHALL BE FREE FROM SUBSOIL, BRUSH, WEEDS, OR OTHER LITTER, CLAY LUMPS AND STONES BUT MAY CONTAIN DECAYING VEGETABLE MATTER AS IS PRESENT IN GOOD TOPSOIL.
 - PRECAUTIONS SHALL BE EXERCISED AS NECESSARY TO CONFORM WITH LAWS RELATING TO EROSION AND SEDIMENT CONTROL.
 - 5. SEED SHALL BE NOT MORE THAN TWO (2) YEARS OLD. GERMINATION TESTS OF SEEDS SHALL BE MADE NOT MORE THAN SIX (6) MONTHS PRIOR TO SEEDING. SEED THAT HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED SHALL NOT BE USED.
 - 6. ALL SEED MIXTURES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO SEEDING.
 - 7. THE CONTRACTOR SHALL BE RESPONSBLE TO PRODUCE A STRAND OF GRASS IN ALL SEEDED OR SODDED AREAS. EROSION, DROUGHT, OR ANY OTHER CONDITION ENCOUNTERED SHALL NOT RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.

	DESIGNED	DATÉ 06/17
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STAHLSHEAFFER	CHECKED JMK	07/17
ENGINEERING	CHECKED SRP	07/17

EROSION & SE CONTROL N			-			
]	27	21.55		 	 SHEET	N

